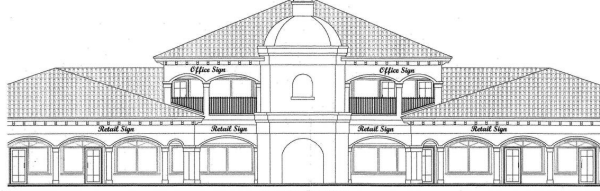


- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL LABOR, MATERIALS, UTILITIES, TESTING, WASTE REMOVAL, STORAGE, SECURING OF SITE, ACCOMMODATION, TRANSPORT/FREIGHT AND ALL OTHER COSTS RELATED TO THE COMPLETION OF THIS PROJECT, UNLESS EXPLICITLY IDENTIFIED HERE.
- OWNER IS RESPONSIBLE FOR ALL MUNICIPAL RELATED CHARGES SUCH AS IMPACT FEES AND WATER CONNECTION, EXCEPT BUILDING PERMIT FEES, WHICH ARE TO BE INCLUDED IN THE CONSTRUCTION BID.
- GENERAL CONTRACTOR TO CHECK ALL DRAWINGS FOR ERRORS AND OMISSIONS AND BRING THEM TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING ANY WORK OR ORDERING MATERIALS OF THE RESPECTIVE DIVISION OF WORK. IF SUCH ERRORS AND OMISSIONS ARE NOT REPORTED IN WRITING TO THE ARCHITECT, ANY RESULTING DAMAGES OR COSTS SHALL BE BORN ENTIRELY BY THE GENERAL CONTRACTOR.
- ARCHITECT IS NOT RESPONSIBLE FOR THE GENERAL CONTRACTORS' METHOD OR MEANS OF CONSTRUCTION.
- GENERAL CONTRACTOR IS TO KEEP SITE IN A CLEAN AND SAFE STATE THROUGHOUT THE COURSE OF CONSTRUCTION, ON BUILDING TURN-OVER, GENERAL CONTRACTOR TO CLEAN ALL SURFACES SO AS TO BE FREE OF DUST, GREASE, STAINS, SCUFFS, ETC.
- ALL WORK AND MATERIAL TO BE GUARANTEED BY GENERAL CONTRACTOR FOR ONE YEAR AFTER CERTIFICATE OF OCCUPANCY.



Villa Rosa

FLOORING & ROOF:	COLUNNE DR. (CONCRETE):	CONCRETE (DR. FLOORING):	REINFORCING:
BEAMS, ORDER, THUSSES AND ARCHES:	2 HR	2 HR	2 HR
SUPPORTING ROOFING:	2 HR	2 HR	2 HR
SUPPORTING ONE FLOOR ONLY:	N/A	N/A	N/A
SUPPORTING TWO FLOORS:	N/A	N/A	N/A
FLOOR & FLOORCEILING ASSEMBLIES:	2 HR	2 HR	2 HR
ROOF & ROOFCEILING ASSEMBLIES:	2 HR	2 HR	2 HR

RAYMOY ARCHITECT
691 S. L. PORT ST. LUCIE, FL 34953
772-333-1111

THESE DRAWINGS CONTAIN ARCHITECTURAL SYMBOLS USED FOR GRAPHIC PURPOSES ONLY. SIZE AND LOCATION MAY VARY TO MOST MANUFACTURERS' SPECIFICATIONS.

DO NOT SCALE DRAWINGS. ANY QUESTIONS ABOUT DIMENSIONS, CONTACT DESIGNER.

PROJECT DESCRIPTION
GROSS FLOOR AREA: 8,175 sq. FT. TOTAL FLOOR AREA WHICH INCLUDES: 4,110 sq. BUSINESS & 4,065 sq. RETAIL.
STRUCTURE: ENCLOSED ONE STORY, TYPE VB, UNPROTECTED, NON-SPRINKLERED LOAD-BEARING, REINFORCED CONCRETE WALLS TO 18'-0" WITH MONOLITHIC PERIMETER FOOTING & SLAB.
ROOF: OPEN WEB STEEL JOISTS, METAL DECK & MEMBRANE, w/ 4/12 SLOPE OVER ARCHADE & 8/12 SLOPE OVER TOWERS, STANDING MTL. SEAL. FIN.
MEAN BUILDING HEIGHT: 20'-8" OVERHANG: 12' & 30"
ROOF PITCH: 4/12 & 8/12 ON TOWERS
WIND SPEED (3 SECOND GUST): 140 MPH
EXPOSURE: B
BUILDING HEIGHT TO EXPOSURE COEFFICIENT ADJUSTMENT FACTOR: 1.00
INTERNAL PRESSURE COEFFICIENT: ±0.18
IMPORTANCE FACTOR: 1.0
SHUTTERS: NO
IMPACT RESISTANT WINDOW ASSEMBLY: YES

OCCUPANCY
OCCUPANCY #1: GROUP B (BUSINESS), 2004 FBC SECTION 304
OCCUPANCY #2: GROUP M (MERCHANDISE), 2004 FBC SECTION 309
OCCUPANCY LOAD: 2004 FBC TABLE 1004.1.2
1,592 sq. BUSINESS @ 100 S.F./PERSON = 16 OCCUPANTS FOR LARGEST SUITE
1,054 sq. MERCHANDISE @ 30 S.F./PERSON = 36 OCCUPANTS FOR LARGEST SUITE

BUILDING DEPARTMENT PRODUCT APPROVAL SUBMITTAL AFFIDAVIT

OPENING	PRODUCT	MODEL NUMBER	MANUFACTURER	GLASS	ATTACHMENT METHOD	TEST RESULTS
GLASS STOREFRONT	IMPACT	SERIES 7500	Y.S.K. AF OF AMERICA INC.	IMPACT	W/ETA TAPCONS 4" HORIZONTAL CORNERS & JAMB CORNERS, 12" MIN. L.F. EMBED. INTO CON. OR CONC.	+70PSI -90PSI
WINDOWS	IMPACT	PW 400000 SERIES	LANRUS INC	IMPACT	W/ETA TAPCONS MAXIMUM 3" FROM CORNERS & 12" MIN. OR ALL FACTORY HOLES MINIMUM 1" EMBEDMENT INTO CON. FLEED OR CONCRETE	+65PSI -90PSI
FIXED STOREFRONT WINDOWS	IMPACT	SERIES 7500	Y.S.K. AF OF AMERICA INC.	IMPACT	W/ETA TAPCONS 4" HORIZONTAL CORNERS & JAMB CORNERS, 12" MIN. L.F. EMBED. INTO CON. OR CONC.	+70PSI -90PSI

PRODUCT	MODEL NUMBER	MANUFACTURER	ATTACHMENT METHOD	TEST RESULTS
ROOF MEMBRANE	NOT MOP FELT SYSTEM	G.F.A.	W/ETA TAPCONS 4" HORIZONTAL CORNERS & JAMB CORNERS, 12" MIN. L.F. EMBED. INTO CON. OR CONC.	IMPACT
METAL SPANISH TILE	TEGOLA TILE 2500 W/18 ADHESIVE/TERAZO COAT	DELORA ROOFING SYSTEMS, INC.	DELORA ROOFING SYSTEMS, INC.	IMPACT
SHUTTERS - BAHAMA	EXTRUDALUM BAHAMA SHUTTERS	PERMA CORP.	DELORA ROOFING SYSTEMS, INC.	IMPACT

I HAVE REVIEWED THE ABOVE COMPONENTS AND CLADDING, AND HAVE APPROVED THEIR USE IN THE STRUCTURE TO PROVIDE ADEQUATE RESISTANCE TO THE WIND LOADS AND FORCES SPECIFIED BY THE CURRENT CODE PROVISIONS IN ACCORDANCE WITH FBC 2004

- WEATHER RESISTANCE:**
- WEATHER EXPOSE REINFORCED CONCRETE BALCONIES (& OTHER FLAT SURFACES) TO HAVE TOP SURFACE OF CONCRETE TREATED w/ CLEAR NON-FLAMMABLE PENETRATING SEALER, ALKYL-ALKOXY SILANE CLASSIFICATION, SUCH AS SONDERSON PENETRATING SEALER 20, HYDROZO ENVIRONMENTAL 20 OR OTHER APPROVED PRODUCT.
 - APPLICATION AS PER MANUFACTURER'S DIRECTIONS & SPECIFICATIONS.
- FORMWORK & SHORING:**
- NO STRUCTURAL CONCRETE TO BE PLACED UNTIL IT HAS REACHED AT LEAST 80% OF THE 28-DAY DESIGN STRENGTH.
 - DESIGN, ERECTION & REMOVAL OF ALL FORMWORK, SHORES & RESCHORS SHALL MEET THE ACI STANDARDS 347 AND 301.
- MASONRY WALLS:**
- MASONRY UNITS SHALL MEET ASTM C-90 FOR HOLLOW LOAD BEARING TYPE MASONRY w/ UNIT STRENGTH OF 1900 PSI ON THE NET AREA (F_m=1500 PSI). MORTAR SHALL BE TYPE "M" OR "S" AND MEET ASTM C-270.
 - GROUT SHALL BE 2500 PSI MIN. COMPRESSIVE STRENGTH & MEET ASTM C-476 w/ SLUMP BETWEEN 8" & 10", MIX NUMBER OR OTHER POSITIVE IDENTIFICATION SHALL SPECIFICALLY IDENTIFY MIX.

VILLA ROSA BUILDING
GENERAL NOTES

MEANS OF EGRESS
MEANS OF EGRESS: 2004 FBC TABLE 1011.1 & 1002.1
MAXIMUM TRAVEL DISTANCE: 200 FT FOR MERCHANDISE; 250 FT FOR BUSINESS
ACTUAL TRAVEL DISTANCE ARE LESS THAN ABOVE.
MINIMUM EXIT WIDTH: 32"
EGRESS WIDTH PER PERSON:
1. FOR LARGEST BUSINESS: 0.2 x 15 OCCUPANTS/UNIT = 3.2"
TOTAL EXIT WIDTH PER UNIT = 7.2" > 3.2"
2. FOR LARGEST MERCHANDISE: 0.2 x 36 OCCUPANTS/UNIT = 7.2"
TOTAL EXIT WIDTH PER UNIT = 14.4" > 10.2"

GENERAL MASONRY NOTES

- MASONRY CONSTRUCTION SHALL CONFORM TO 2004 FBC AND ACI 308-11S.
- CONCRETE BLOCKS SHALL CONFORM TO ASTM-190 WITH F_m=1500psi.
- MORTAR SHALL CONFORM TO ASTM C-270 TYPE "M" OR "S".
- REINFORCING WALLS SHALL CONFORM TO ACI 308-11S AND AS SHOWN ON PLANS AND SECTIONS USING VERTICAL #5 IN GROUTED CELLS WITH PROPER CORNERS AND CORNER BARS CONFORMING TO ASTM A-665.
- WHERE SHOWN ON FOUNDATION PLAN, CONCRETE BLOCK TO BE FILLED SOLID WITH GROUT (FOOTING PER URBAN AND (1) #5 VERTICAL BARS MAX. 20" C.C. @ 45 PER NOTE #4 ABOVE.

NOTE

REVISIONS

DATE	DONE BY	SHEET #	ISSUE

- GENERAL PLAN NOTES**
- DESIGN PARAMETERS:
DESIGN LOADS: UNLESS NOTED OTHERWISE (IND. IN SPECIFIC NOTES)
ROOF LOADS: DEAD LOAD (D.L.): 20 PSF (INCLUDING METAL DECK)
LIVE LOAD (L.L.): 30 PSF
1st FLOOR LOADS: DEAD LOAD (D.L.): 50PSF (CONCRETE)
LIVE LOAD (L.L.): 100PSF (USE DURATION INCREASE)
 - INTERIOR NON-BEARING WALLS: WOOD OR METAL 2X6 STUDS @ 24" O.C.
A. WOOD FRAMING: 2X6 @ 24" BETTER.
B. METAL STUDS AND JOISTS: LOADING THICKNESS OF STUDS TO BE IN STRENGTH.
C. HEADERS MAY BE CUT OR NOT CUT AT THE ENDS ONLY, OTHERWISE THEY SHALL NOT BE REDUCED IN STRENGTH.
D. FINISH CONTRACTOR IS RESPONSIBLE FOR TYPICAL BRACE BRACING METHOD OF TRUSSES AND FOR ALL PERMANENT BRACING PER IBC-05 SUBMATTY SHEET.
 - FINISH CONTRACTOR IS RESPONSIBLE FOR TYPICAL BRACE BRACING METHOD OF TRUSSES AND FOR ALL PERMANENT BRACING PER IBC-05 SUBMATTY SHEET.
 - GENERAL CONTRACTOR SHALL COORDINATE ELECTRICAL, STRUCTURAL, MECHANICAL, AND MECHANICAL WORK FOR ANCHORS, BRACKETS, AND SUPPORTS ITEMS WHICH AFFECT STRUCTURAL INTEGRITY. NOTIFY DESIGNER OF ANY DISCREPANCIES IMMEDIATELY UPON COMMENCEMENT OF WORK.
 - ALL ANCHOR POSITIONS ARE AS SHOWN ON THE BUILDING DEPARTMENT'S LATEST APPROVED ROOF COVERING MANUFACTURERS USE (IF APPLICABLE) SHALL BE USED. TESTING DATA FOR FASTENERS SHALL BE PROVIDED UPON REQUEST IMMEDIATELY UPON ELEVATIONS.
 - MINIMUM JOIST PRESSES OR OTHERS ARE INDICATED ON ELEVATIONS.
 - ALL STEEL REINFORCEMENT IS GRADE 60 (L60) ON PLANS.
 - ALL CONCRETE SHALL BE RETIEMER PER MANUFACTURERS SPEC.
 - ALL EXTERIOR BLOCK WALLS BETWEEN OPENINGS WITH REINFORCED DOWN POURS AT EACH END ARE SICKER WALLS.
 - A/C COMPRESSOR LOCATION MAY VARY. VERIFY LOCATION WITH SURVEY.
 - SLAB SHALL BE RECESSED IN ALL DOORS (EXCEPT FRONT DOOR).
 - SEE FLOOR PLAN FOR PLACEMENT OF REINFORCEMENT.

START DATE: NOV 16 07
NO REVISION/ISSUE DATE
1ST REVISION: 12/04/07
2ND REVISION: 02/04/08
3RD REVISION: 03/04/08

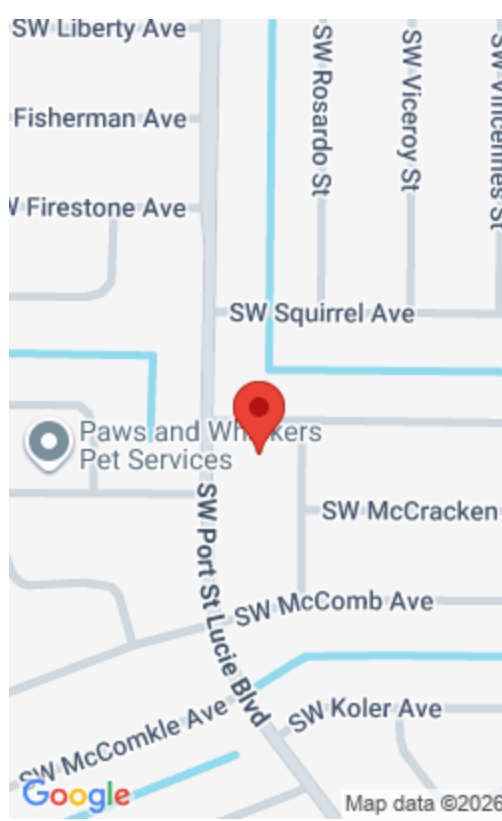
\$1,100,000

884 MCCOY AVENUE, PORT SAINT LUCIE, FL, 34953

<https://comwire.com>

This exceptional commercial lot is now available in the heart of Port Saint Lucie's booming development area. This property offers over 150 feet of prime frontage along Port Saint Lucie Boulevard, providing outstanding visibility and high daily traffic—ideal for a variety of business opportunities. Strategically located near the rapidly expanding Becker Road Corridor and just minutes

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Basics



Comwire last checked: 12:22 pm on April 03, 2026

Days on Comwire: 420

Listing Office Id: 276549795

Lot size: 0.98 sq ft

Price/Acre: \$1,122,448.98

For Lease: No

Listing updated: February 04, 2026 at 3:30 pm

Status: Active

Date added: May 15, 2025 at 2:20 pm

Est. Taxes: \$4,156.84

For Sale: No

Listing Office Name: My Listing Professionals Inc

Site Details

Acres: 0.98

Improvements: None

Front Exp: North

Roads: City/County Maint.,Paved,Public

Soil Type: Dirt

Lot SqFt: 42689.00

Utilities On Site: None

Lot Description: 1/2 to < 1 Acre

Ground Cover: Brush

Building Details

Type: Commercial Land

Docs Available: Building Plan

Additional Info

Listing Agent Phone: (772) 215-2137

Listing Office: My Listing Professionals Inc

MLS Source: Realtor Association of the Palm Beaches (RAPB)

